

## Expert evidence: heritage

### Proposed apartment development, 18 Brahe Place and 6-12 Garden Avenue, East Melbourne

VCAT Reference No: P1053/2011

Planning status of the site: in Heritage Overlay Area HO2 East Melbourne & Jolimont Precinct



Figure 1 subject site (Google Maps)

### Scope of expert opinion

My evidence statement addresses the amended version of the proposed development plans, submitted June 2011.

### Summary of expert opinion

The proposed development satisfies local and State heritage policies and the Heritage Overlay provisions of the *Melbourne Planning Scheme* in that the new building:

- will relate well to the existing Garden Avenue Moderne style inter-war enclave of flat buildings forming a visually related backdrop to this significant but visually homogenous precinct;
- appropriately responds to its setting in respect of valued built form and cultural context, and protect places and sites with significant heritage, architectural, aesthetic, scientific and cultural value;
- will not adversely affect the significance of this Heritage Overlay Area;
- cannot be mistaken for a reproduction building when inspected at close proximity, thus satisfying the Burra Charter (1999) article 22 on new work in a heritage place;

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- will, because it is of an equal perceived height to the rear or, visibly, the lowest point of the abutting flat block on the north-west (10-12 Garden Avenue), not dominate in any way the public view of the significant and contributory buildings within Garden Avenue, given that the main street elevations of these buildings will appear much higher than the proposed development;
- will be substantially concealed from public views within the Victorian-era and Edwardian-era enclave of George Street to the north and hence will not negatively affect the significance of the Heritage Overlay Area;
- will, given that a development can occur on this site, provide a positive contribution to the strong inter-war character of Garden Avenue and hence enhance the significance of this important sub-precinct of the Heritage Overlay Area.

## Policy

### Relevant heritage and streetscape ranking

The *Melbourne Planning Scheme, Incorporated Document, and Heritage Places Inventory July 2008* does not include any building or streetscape grading for this site but, while not being a contiguous part of the streetscape, the site is publicly visible within a Level One streetscape in Garden Avenue and concealed from view within a Level Two streetscape in George Street. The site directly abuts the rear of A grade buildings in Garden Avenue, (6 and 10-12) and C grade buildings at 11, 17, 21-25 George Street.

#### **'A' Graded Buildings**

*These buildings are of national or state importance, and are irreplaceable parts of Australia's built form heritage. Many will be either already included on or recommended for the Victorian Heritage Register or the Register of the National Estate.*

#### **'C' Graded Buildings**

*These buildings demonstrate the historical or social development of the local area and/ or make an important aesthetic or scientific contribution. These buildings comprise a variety of styles and buildings types.*

*Architecturally they are substantially intact, but where altered, it is reversible. In some instances, buildings of high individual historic, scientific or social significance may have a greater degree of alteration.*

#### **Level 1 Streetscape**

*These streetscapes are collections of buildings outstanding either because they are a particularly well preserved group from a similar period or style, or because they are highly significant buildings in their own right.*

#### **Level 2 Streetscape**

*These streetscapes are of significance either because they still retain the predominant character and scale of a similar period or style, or because they contain individually significant buildings.*

### Statement of Significance for the East Melbourne and Jolimont Precinct

The relevant policy referenced in clause 22.05 of the *Melbourne Planning Scheme* is the *East Melbourne & Jolimont Conservation Study 1983, 1985*

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(the 1983 conservation study republished and adopted with additions in 1985). This study has no Statement of Significance for the Heritage Overlay Area but instead the study lists building and streetscape gradings, with some associated Statements of Significance.

The Statement of Significance for the Garden Avenue precinct in the *East Melbourne & Jolimont Conservation Study* (also listed under in the City of Melbourne online Heritage Database) is as follows:

*Garden Avenue represents a unique example of an intact 1930s streetscape of three storey flats which appear to have been designed by the same architect. The buildings subtly vary along the street using all the devices of the period to create an interesting vista. The close proximity of similar flats in George St and 'Ascot' on Hoddle St, suggest a master plan for the use of cheap land near the railway cutting.*

The study recommended that the whole street be added to the Register of Historic Buildings (Victorian Heritage Register), the National estate register and as an individual place in the planning scheme. None of these recommendations appear to have been carried out.

### ***Heritage Precincts Project and former proposed Planning Scheme Amendment C132***

The following Statement of Significance for the East Melbourne and Jolimont Heritage Overlay Area derives from the Heritage Precincts Project Planning Scheme Amendment C132 prepared by the Melbourne City Council (MCC) but not proceeded with. The MCC Planning Committee's resolution of September 2008 authorised consideration of Amendment C132 Heritage Precincts for exhibition. This amendment was intended to insert statements of significance into the heritage Precincts Policy in the *Melbourne Planning Scheme*.<sup>1</sup>

Amendment C132 has not progressed to exhibition but as there is no existing referenced Statement of Significance for the East Melbourne and Jolimont Heritage Overlay Area, this statement is relevant to any consideration of the effect of a proposed development on the Heritage Overlay Area's significance<sup>2</sup>.

### **East Melbourne and Jolimont Precinct, HO2 Statement of Significance**

*East Melbourne has outstanding heritage value as the best example of La Trobe's planning intentions for Melbourne: residential precincts of high urban amenity with planned parks, encircling parks around the central city and impressive boulevards through them. East Melbourne was planned in the 1840s. It includes the most intact residential area in the City of Melbourne area from the 1850s and contains many nineteenth century buildings that are individually significant. The framework of parks and boulevards laid down in the 1830s, 1840s and 1850s played a vital role in the developing form of the metropolis and is a primary contributor to its distinctive sense of place. The Fitzroy Gardens have outstanding significance to the city, State and nation.*

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<sup>1</sup> MCC web site

<sup>2</sup> See *Melbourne Planning Scheme* clause 43.01-4 **Decision guidelines**...Any applicable statement of significance, heritage study and any applicable conservation policy.

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*Jolimont is also significant as the home of Lt. Gov. Charles La Trobe. East Melbourne has important cultural connections to the development of cricket and Australian Rules football in Australia and was the primary location for the 1956 Melbourne Olympic Games. The MCG in Yarra Park is amongst the major sports stadiums in the world. Yarra Park contains remnant vegetation from pre-European settlement and some significant Aboriginal sites. A high proportion of the pre 1914 building stock in East Melbourne and Jolimont survives, and in many instances forms streetscapes with very high cultural heritage significance for their representation of nineteenth century inner urban development.*

*The Parliamentary area is the centre of State government and was for over two decades the centre of government for the Commonwealth of Australia. It has outstanding cultural heritage significance at the National level for its impressive and elegant architecture set within the socially inclusive planning of extensive gardens and parks. Nowhere else in Melbourne are the ambitious intentions for a gracious, planned city, clearer than at the Parliamentary area and Eastern Hill. In the growing nineteenth century movement towards universal franchise, it is a symbol of equity and of the power of community. The Parliamentary area reflects the social, cultural, and religious life of the city, State and nation.*

## **Comment**

When appraising the general building stock in East Melbourne and Jolimont, this Statement of Significance concentrates on pre 1914 buildings and planning. Precincts such as the inter-war Garden Avenue are not cited as making up the significance of the Heritage Overlay Area.



**Figure 2** Moderne style Kalingni flat block at 109 George St graded B2 in the East Melbourne & Jolimont Conservation Study as recognition of the key role that the inter-war period plays in the architectural character of the Heritage Overlay Area



Figure 3 Streamlined and Jazz Moderne style flats at 29-35 George St, graded C2.

Note that the construction date of the A graded buildings in Garden Avenue are cited in the East Melbourne and Jolimont Conservation Study as c1930 where the National Trust of Australia (Vic) research below gives 1938–1941 as the date range of the flats which is more likely.

The National Trust of Australia (Vic) has classified the precinct at State level in the most comprehensive assessment known for the Garden Avenue part of the Heritage Overlay Area:

### **What is significant?**

*The complex which includes a guest house, bachelor flats and residential units located at Wellington Parade-Garden Avenue and stretching through to George Street, East Melbourne, includes seven buildings all designed by the same architect, I. G. Anderson, during the period from 1938 - 1941. The buildings are designed in the 'Moderne' style popular during the late 1930's. All the buildings are of three storeys and are designed with strong horizontal and vertical emphases. Building material is of brick and tile with concrete floors and concrete rendered features such as balconies. The selection of bricks covers a rich palette from cream to rose and deeper red with decorative coursing in 'tapestry' and brown brick. Windows are both steel and timber framed. With the exception of one building, 'Islander Place,' which has a flat roof, all the other buildings have shallow pitched tile roofs behind parapet walls. Although the whole site shows a remarkable unity and development of design style, each building is unique both in external form, internal plan and decorative detail. The buildings are set around two quiet cul-de-sacs and are surrounded by lawns, shrubs and mature trees, providing an oasis amidst a busy urban area. The guest house and flats built to house young professional workers, provide a pleasant environment with easy transportation to the central city area. They were designed to be compact whilst offering all the amenities of modern living in the 30's. The building specifications show the care and consideration taken over specific fixtures and fittings. The whole group comprising the seven buildings and the surrounding environment of gardens and pathways is remarkably intact with minimal external modifications. True to the original context the buildings still fulfil the purpose for which they were designed.*

### **How is it significant?**

*The residential flats and guest house which comprise the group of buildings at Garden Avenue-George Street are significant for aesthetic, architectural and social reasons at a State level.*

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### **Why is it significant?**

*The Garden Avenue-George Street flats are architecturally important as a unique group of 'Moderne' flats which are exceptionally well preserved in their original context. Each of the seven buildings is designed with an unusually high level of detail, incorporating a range of 'Moderne' motifs into individual facades. Horizontal elements, balconies, window frames and richly coloured decorative brick courses contrast with the vertical accents of stair towers and concrete ribbing. The facades incorporate a variety of modelled forms, curved corners, projecting bays and balconies, and recessed entries with decorative screen doors and porthole windows. The massing is dynamic, including angled and stepped forms, creating a diverse and lively streetscape along both cul-de-sacs. Other groups of flats designed in the 1930's exist within Melbourne, but none are quite as extensive, well preserved or rich in detail in the 'Moderne' style as are the ones on this site.*

*The flats are an excellent example of the work of I.G. Anderson, an architect with a very distinctive style, which relied on a meticulous attention to detail and specification. Anderson had made a practice of designing residential flats in Melbourne during the 1930's including the State listed 'Ostend' at Brighton Beach.*

*The flats on the Garden Avenue- George Street site show a significant development of his architectural style and functional planning, and compare favourably with other urban housing schemes being erected overseas.*

*Socially the flats are a perfect expression of the pressure to house young professional white collar workers in the 1930's many of whom migrated to work in central city offices and businesses. These workers demanded well designed, functional accommodation at a reasonable price, and within close proximity to the city center and transport systems. They still provide for this need and evidence confirms that they are still popular as living units and continue to foster a sense of community and pride.*

The architect for 22-24 Garden Avenue is thought to have been the prolific flat designer, William H. Merritt.<sup>3</sup>

### **Comment**

The National Trust of Australia (Vic) Statement of Significance concentrates on the form and detailing of this Moderne styled precinct, also with acknowledgement of social and historical aspects. The character of the precinct as described relates closely to the proposed development in Brahe Place ..` *The facades incorporate a variety of modelled forms, curved corners, projecting bays and balconies, and recessed entries with decorative screen doors and porthole windows.* The statement goes on to describe the dynamic forms seen in the precinct ...` *The massing is dynamic, including angled and stepped forms, creating a diverse and lively streetscape along both cul-de-sacs..*'. The proposed development will contribute to this visual character by its partial visibility within the dynamic streetscape of Garden Avenue where unlike most of the Heritage Overlay Area the building forms are detached allowing views through other buildings of a like form and materials. Any development of this site will be publicly visible so it is essential that the character of the design is closely related to that of Garden Avenue and does not dominate: I believe that the proposed development achieves these objectives.

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<sup>3</sup> St Kilda Historical Society Inc. entry 10 from 2005 website, 2010

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## Development control policy

The Melbourne Planning Scheme clause 22.05 *Heritage Places Outside The Capital City Zone* provides guidance for new development in Heritage Overlay Areas.

The reference provided in clause 22.05 is *Urban Conservation in the City of Melbourne* 1985 provides guidance for new development based on streetscape level and building grading. The other relevant guideline is the reference, *East Melbourne and Jolimont Conservation Study*, 1983, 1985. These guidelines will be applied to the development later in my evidence.

## Heritage opinion on proposed development

### Proposed development details



Figure 4 Three-dimensional view taken from across Garden Avenue from 6-12 Garden Avenue (supplied by Jan Matuszczak, July 2011)

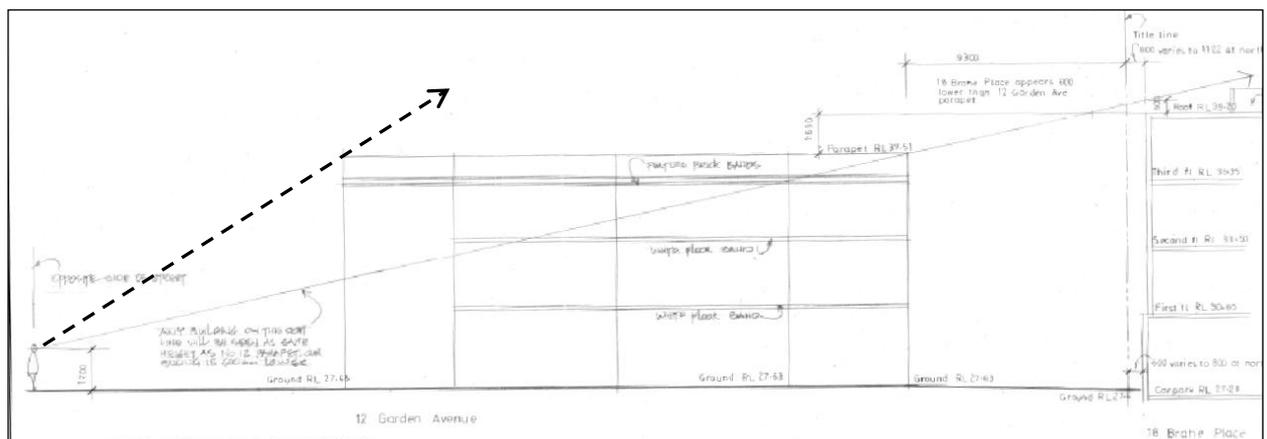
Apartment development on four levels including parking at ground level set on a triangular site bordering the Melbourne to Clifton Hill railway cutting.

The proposed building form is parapeted and set back on the north and west boundaries. The west façade seen from Garden Avenue is brick and render clad in a related brick to that used in Garden Avenue and has regular punched fenestration that also relates to the largely 3 storey Garden Avenue idiom. The rest of the design is in a visually related form to the Garden Avenue built character, intended to complement this visually strong enclave of Moderne Style buildings that also front George Street.

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**Figure 5** The character of the other elevations of the proposed development are complementary to the Garden Avenue character, allowing the group to read as a cohesive whole, while this building is obviously modern as viewed from the east (supplied by Jan Matuszczak, July 2011)



**Figure 6** Sight line from Garden Avenue to proposed development (from Mattingley Courtney June 2011). The added dotted line shows the perceived height of the front walls of the adjoining significant flats at 12 Garden Avenue seen from across the street: the existing flats will appear to be 2.5 times the height of the highest publicly visible point of the development

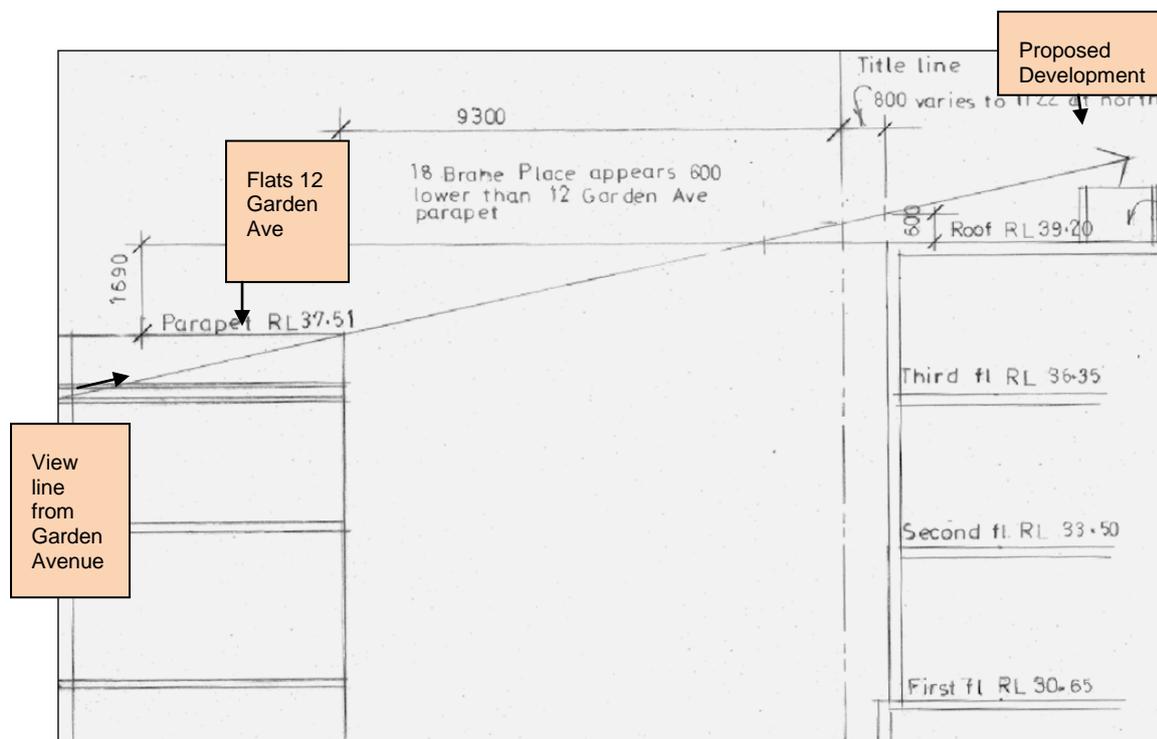


Figure 7 Detail of sight line from the west side of Garden Avenue across the rear parapet of the significant block of flats: the proposed development will appear to be a lesser height to that of the flats, as seen from the street. The RL of the proposed development main parapet has been reduced to 39.20 while the roof planter boxes are set back to allow perception as a similar height from Garden Avenue (from Mattingley Courtney June 2011)

Sight lines provided with the proposed development have been taken from the west side of Garden Avenue across the rear publicly visible parapets of the two significant flat blocks at 10-12 Garden Avenue. These sight lines indicate that the proposed development envelope will appear similar in scale to the rear edge of the flat blocks, allowing for a recessive development to the existing buildings and streetscape when viewed as a whole. From many viewpoints the proposed development will not be visible at all.

My assessment of the likely publicly visibility of the proposed development from George, Hoddle and Wellington Streets indicates that the proposed development will be substantially concealed. However a view of the proposed development from Garden Avenue is available between two significant flat blocks: this is the area where heritage advice has been focussed – to provide for a development that does not compete with the Garden Avenue streetscape in scale and form but has a close visual relationship to it.

The background of this site, within the context of the 2008 MCC Statement of Significance, is that the land was once part of rear yards to Victorian-era row housing along George and Hoddle Street and Wellington Parade. The angled cutting of the Clifton Hill railway development of 1901 changed this former grid pattern, followed by the imposition of Garden Avenue as a cul-de-sac. Wellington Parade Victorian-era buildings have been redeveloped.

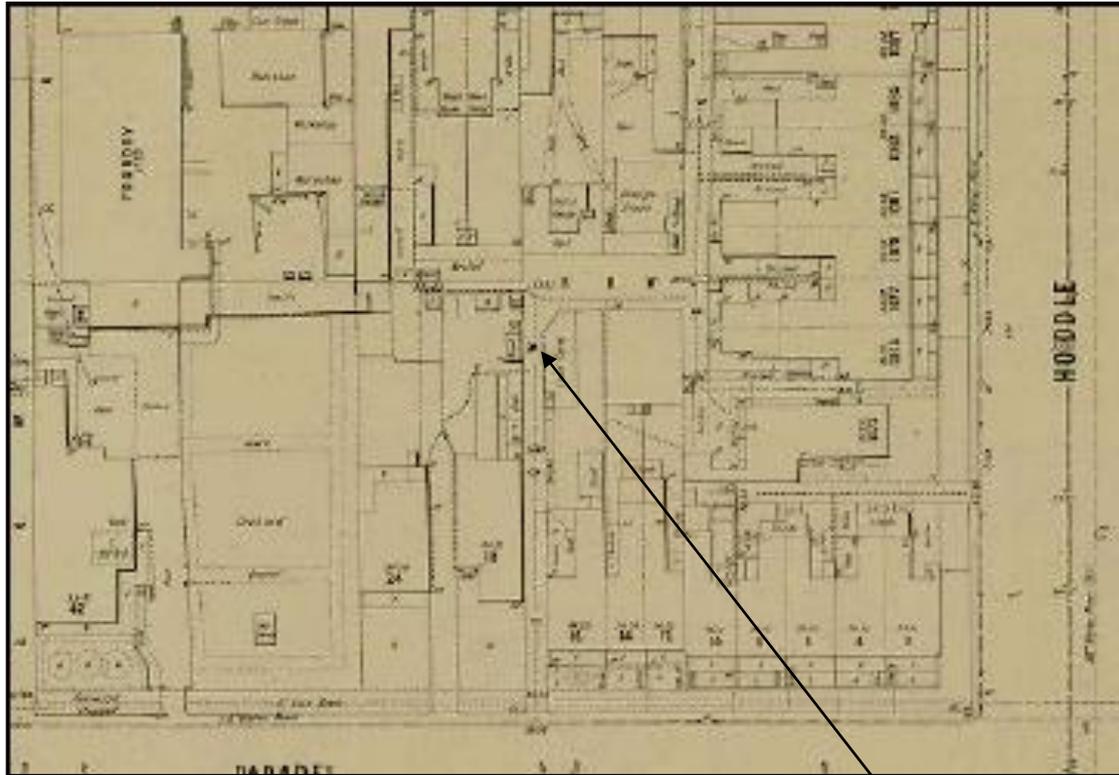


Figure 8 MMBW DP pre railway (1901) and pre Garden Avenue showing row houses in Wellington Parade, since demolished

### Urban Conservation in the City of Melbourne 1985 guidelines

Although the proposed MCC Statement of Significance for East Melbourne does not address inter-war developments like Garden Avenue nor the inter-war period as an architectural theme, the *East Melbourne and Jolimont Conservation Study* has graded the flats along Garden Avenue A individually within a Level 1 streetscape: the highest possible gradings.

The reference document *Urban Conservation in the City of Melbourne 1985* (p41) spells out the development controls associated with this type of precinct.

In a Level One streetscape:

- the new building form should be respectful,
- publicly visible façade patterns should be respectful and concealed parts interpretive,
- materials should be respectful,
- detail should be interpretive (the proposed development offers differing but related detailing to the existing flats) and
- should not dominate an **adjoining** A,B, C or D graded building.

The proposed development satisfies all of these aspects as applied to an abutting, rather than *adjoining*, site to a Level One streetscape. This is an important distinction when appraising a streetscape as defined in the *Urban Conservation in the City of Melbourne* policy reference (my bold).

*Grading of Streetscapes Area conservation is concerned with protecting collections of buildings. Complete collections of buildings in an area or along a **street frontage**, called here a 'streetscape' may have an importance over and above the significance of the*

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*buildings individually. For this reason every **street frontage** in an Urban Conservation Area has been graded for its significance as a streetscape, on a scale of 1 to 3...<sup>4</sup>*

The proposed building is not part of the Garden Avenue street frontage, assessed as Level One streetscape, but set behind it. For this reason the proposed development does not challenge the value of the street frontage but provides a visually related backdrop that does not dominate the nearby street frontage.

### **East Melbourne and Jolimont Conservation Study**

The *East Melbourne and Jolimont Conservation Study* also provides guidance for new development under headings of:

- area character;
- bulk, form and height;
- façade articulation;
- front, side and rear setbacks;
- wall, roof, joinery, verandahs, glazing, and fence materials

New development was encouraged for vacant sites but should concur in general with the above aspects of a precinct's contributory places. New development should not be a recreation of 19<sup>th</sup> century building styles but be of a 'good modern design' that is 'sympathetic with adjoining buildings': at no time should the building exceed four storeys.<sup>5</sup>

### **Australia ICOMOS Burra Charter and replication**

On the subject of replication, the Australia ICOMOS *Burra Charter* (1999) article 22 on new work in a heritage place states the following:

#### **Article 22**

##### **New work**

##### **22.1**

*New work such as additions to the [place](#) may be acceptable where it does not distort or obscure the [cultural significance](#) of the place, or detract from its [interpretation](#) and appreciation.*

*New work may be sympathetic if its siting, bulk, form, scale, character, colour, texture and material are similar to the existing fabric, but imitation should be avoided.*

##### **22.2**

*New work should be readily identifiable as such.*

I believe that the proposed development is *sympathetic in its siting, bulk, form, scale, character, colour, texture and use of materials which are all are similar to the existing fabric, but without detailed imitation.*

### **Clause 22 of the Melbourne Planning Scheme**

Clause 22 of the Melbourne Planning Scheme gives the following framework for design guidance. This policy is similar to that of 1985 shown above.

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<sup>4</sup> P.26

<sup>5</sup> Section 3.2 East Melbourne and Jolimont Conservation Study 1985

<b><i>Designing New Buildings and Works or Additions to Existing Buildings</i></b>	<b><i>Comment</i></b>
<i>Form</i>	
<p>The external shape of a new building, and of an addition to an existing building, should be respectful in a Level 1 or 2 streetscape, or interpretive in a Level 3 streetscape.</p>	<p>Respectful; form means a parapeted rectilinear form in the context of both George Street and Garden Avenue.</p> <p>The proposed development is parapeted and rectilinear in form.</p>
<i>Facade Pattern and Colours</i>	
<p>The facade pattern and colours of a new building, and of an addition or alteration to an existing building, should be respectful where visible in a Level 1 streetscape, and interpretive elsewhere.</p>	<p>Respectful in this context means use of punched openings set in a regular pattern within wall surfaces, such as is proposed on the west (and other) elevation of the proposed development.</p>
<i>Materials</i>	
<p>The surface materials of a new building, and of an addition or alteration to an existing building, should always be respectful.</p>	<p>Respectful, in what is a near all-brick precinct, is that of complementary modern brickwork such as is proposed in the development to form a neutral backdrop to the flats. The contributory brick type is an red, apricot or cream imperial sized pressed brick: either one of these types could be used to relate to the visually homogenous character of Garden Avenue.</p> <p>The other contributory material evident in the area is that of stucco which could be used to relieve any proposed brickwork, as horizontal banding.</p>
<i>Details</i>	
<p>The details (including verandahs, ornaments, windows and doors, fences, shopfronts and advertisements) of a new building, and of an addition or alteration to an existing building, should preferably be interpretive, that is, a simplified modern interpretation of the historic form rather than a direct reproduction.</p>	<p>The proposed development as seen from Garden Avenue has some period detail intended to allow integration with this homogenous precinct but none that could be construed as detailed reproduction. Close observation of the building in total would remove any confusion as to its construction date.</p>
<i>Facade Height and Setback (New Buildings)</i>	
<p>The facade height and position should not dominate an <i>adjoining</i> outstanding building in any streetscape, or an adjoining contributory building in a Level 1 or 2 streetscape. Generally, this means that the building should neither exceed in height, nor be positioned forward of, the specified adjoining building. Conversely, the height of the facade should not be significantly lower than typical heights in the streetscape. The facade should also not be set back significantly behind typical building lines in the streetscape.</p>	<p>Given that the proposed site situation is not an <i>adjoining</i> site to a significant or contributory building but in fact is visible behind the significant buildings, the generic statement of <i>should not dominate an adjoining outstanding building in any streetscape</i> is the operative one which means that the perceived height of the development should not be greater than any publicly visible part of the significant buildings.</p> <p>Sightlines indicate that this is the case in the proposed development in the worse case and that for many of the views within Garden</p>

	Avenue, the building will be concealed.
<i>Building Height</i>	
The height of a building should respect the character and scale of adjoining buildings and the streetscape. New buildings or additions within residential areas consisting of predominantly single and two-storey terrace houses should be respectful and interpretive.	See above: the proposed development has a perceived building height that is equivalent to the most recessed parts of the existing significant buildings and will appear to be 40% of the façade height of 12 Garden Avenue when viewed from across the street.

The words *respectful* and *interpretive* are defined below.

*Respectful and interpretive refer to design that honestly admits its modernity while relating to the historic or architecturally significant character of its context. ‘Respectful’ means a design approach in which historic building size, form, proportions, colours and materials are adopted, but modern interpretations are used instead of copies of historic detailing and decorative work. ‘Interpretive’ means a looser reference to historic size, form, proportions, colours, detailing and decoration, but still requires use of historic or closely equivalent materials.*

Heritage advice towards formulation of the proposed development has accounted for the above policies where the design approach has followed the surrounding contributory building size, form, proportions, colours and materials but any copying of historic detailing and decorative work that might lead to confusion as to the construction date of the proposed building has been discouraged and is therefore limited in the proposed development.



Figure 9 This view from the Brahe Place site towards Garden Avenue provides a similar view to that proposed from Garden Avenue where a cream brick original but neutral flat block fills the end of the vista through between the other flat blocks. This characteristic will not vary in the proposed development.

## Conclusion

The proposed development satisfies local and State heritage policies and the Heritage Overlay provisions of the *Melbourne Planning Scheme* in that the new building:

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- will relate well to the existing Garden Avenue Moderne style inter-war enclave of flat buildings forming a visually related backdrop to this significant but visually homogenous precinct;
- appropriately responds to its setting in respect of valued built form and cultural context, and protect places and sites with significant heritage, architectural, aesthetic, scientific and cultural value;
- will not adversely affect the significance of this Heritage Overlay Area;
- cannot be mistaken for a reproduction building when inspected at close proximity, thus satisfying the Burra Charter (1999) article 22 on new work in a heritage place;
- will, because it is of an equal perceived height to the rear or, visibly, the lowest point of the abutting flat block on the north-west (10-12 Garden Avenue), not dominate in any way the public view of the significant and contributory buildings within Garden Avenue, given that the main street elevations of these buildings will appear much higher than the proposed development;
- will be substantially concealed from public views within the Victorian-era and Edwardian-era enclave of George Street to the north and hence will not negatively affect the significance of the Heritage Overlay Area;
- will, given that a development can occur on this site, provide a positive contribution to the strong inter-war character of Garden avenue and hence enhance the significance of this important sub-precinct of the Heritage Overlay Area.

**In my expert view there is no heritage-related reason why a permit ought not to be granted for the proposal.**

**Signed:**

A handwritten signature in black ink, appearing to read 'G. Butler', written in a cursive style.

**Dated: July 2011**

## Appendix 1 Expert's qualifications and report summary

*Name and address of the expert:*

Graeme Butler, 21 Alphington St, Alphington, 3078

*Expert's qualifications and experience:*

B Arch (history major) 1972, 36 years professional heritage consultant;

*Expert's area of expertise:*

Heritage consultancies, including heritage advice to local government;

### **RECENT HERITAGE PROJECTS**

#### **City of Melbourne Capital City Zone Heritage Gaps Study 2010-2011**

Assessment of 100 potential heritage places in the Capital City Zone, as generated from previous heritage reviews and community groups.

#### **City of Yarra Heritage Gaps Study 2007-2009**

Scoping survey of the heritage potential within those parts of the City of Yarra outside of Heritage Overlays, with creation of an illustrated Access database for major areas such as Richmond and Alphington. Assessment of potential heritage areas is now underway based on collected data.

#### **City of Yarra Heritage Review 2004-2007: review of Victoria's largest collection of Victorian-era buildings within a heritage overlay**

Revision of existing heritage data and creation of an illustrated MS Access database of over 18,000 places with data derived from previous heritage studies (as qualified by survey), allocation of significance and contribution level for each place, an approximate creation date and its integrity to that date. The digital images of over 18,000 places and the database are on line for use by the City of Yarra planning staff and have been linked to the City's GIS allowing image and history, heritage status to be gained from a click on a map.

**Shire of Mornington Peninsula thematic history 2007-2008:** rich marine history with aboriginal protectorate, lime burning, fishing, marine villas and orcharding as important themes. The project aims for amalgamation of past histories to represent the Shire as an entity and allow a framework for heritage identification and assessment on a thematic basis.

### **CURRENT HERITAGE ADVISORY ROLES**

Graeme Butler & Associates provides a heritage advisory service on statutory planning to the City of Boroondara, City of Greater Dandenong, and the Cardinia Shire.

Graeme Butler & Associates also provides a general heritage consultancy to the Shires of Nillumbik and Mornington Peninsula and the City of Melbourne.

*Statement setting out the expert's expertise to make the report:*

I was heritage adviser to the City of Melbourne through the 1980s-1990s (Central Business District, North and West Melbourne, Flemington and Kensington) and carried out the first heritage study of East Melbourne and Jolimont with Winston Burchett in 1979.

I have been continuously involved during the development and processing of the Application for Permit at the Council level.

*The scope of the report (original and supplementary and whether in writing or oral):*

Written and oral;

*The facts, matters and all assumptions upon which the report proceeds:*

*East Melbourne and Jolimont Conservation Study 1983, 1985; Urban Conservation in the City of Melbourne 1985; National Trust of Australia (Vic) citation for Garden Avenue and the i-Heritage MCC database..*

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*Documents and other materials the expert has been instructed to consider or take into account in preparing his or her report and the literature or other material used in making the report:*

See above;

*Identity of the person who carried out any tests or experiments upon which the expert relied in making the report and the qualifications of that person:*

See above.

*I have made all the inquiries that I believe are desirable and appropriate and that no matters of significance which I regard as relevant have to my knowledge been withheld from the Tribunal.*