

**Application for VCAT Review No.: P1053/2011**  
**18 Brahe Place & 6-8 & 10-12 Garden Avenue, East Melbourne**

**Statement of changes from previous (advertised) plans**

**Drawing 1289-TP1 'VC' Site Plan**

- Building partly built on north boundary and curved wall changed and set back 800 mm for full length of north boundary.
- Internal store on south west corner increased in size.
- South wall setback changed from 2700 – 3000 to 3100 setback.
- Brick piers to west wall deleted.

**Drawing 1289 – TP2'VC' Ground & First /Second Floor Plans (New drawing)**

Original 1289 –TP2 'D' contained all floor plans, new drawing 1289 –TP2'VC' with ground and first/second floor plans with surrounding site details.

**Ground Floor carpark level (RL 27.28)**

- Floor level raised 180 mm.
- Brick piers to west wall deleted.
- North boundary 800 mm set back for entire length.
- Curved wall built part on boundary north east end deleted and now square corner.
- West boundary changed 600 mm set back south end and varies/grades to 922 mm at north end.
- 9 cars reduce to 8 cars.
- Storage areas to front of car stackers deleted now located in larger south west storage area.
- Storage areas reduced from 9 to 8 and re-configured.
- Car stacker sized increased.
- Stair configuration adjusted and external curved façade moved 600 mm to south for symmetry in west wall.
- South wall setback increased to 3100 mm from 2700 – 3000 mm.
- Water tank under floor added.
- Security gates changed to solid gates.
- Development Summary updated with adjusted figures.
- Extra detail to 6 Garden Avenue windows noted with obscure glass.
- Apartment analysis added.

**First Floor Apartments 1-3 (RL 30.65)**

Both 1<sup>st</sup> & 2<sup>nd</sup> floor plans are now identical with matching set backs and internal layouts.

- Floor level raised by 30 mm.
- North building setbacks reduced to 800 and 1000 mm from 800 mm on west end and 600 mm on the east end and 1500 mm in middle.
- North balconies built on boundary and 1500 mm deep, relocated to east and west corners of north façade and set back increase for balconies to 1000 mm of boundary.
- New north west balcony screened.
- Adjustments to internal layouts to each dwelling, location of rooms, external balcony doors, windows and sizes of room.
- Window sizes and style altered to all elevations to suit layouts.
- All apartments now have balconies on the corners of the building. Balcony 1 = 9.32 sqm with north and west orientation. Balcony 2 = 8.2 sqm with north and east orientation. Balcony 3 = 11.2 sqm with west and south orientation.
- West boundary set back increased and ranges from 800 mm south end and 1122mm at north end.
- Extra detail to 6 Garden Avenue windows.

- Juliet balconies and feature brick piers removed.
- Stair configuration adjusted and external curved façade moved 600 mm to south for symmetry in west wall.

#### Second Floor Apartments 4-6 (RL 33.50)

Both 1<sup>st</sup> & 2<sup>nd</sup> floor plans are now identical with matching set backs and internal layouts.

- Floor level reduced by 20 mm.
- North building setbacks reduced to 800 and 1000 mm from 800 mm on west end and 600 mm on the east end and 1500 mm in middle.
- North balconies built on boundary and 1500 mm deep, relocated to east and west corners of north façade and set back increase for balconies to 1000 mm of boundary.
- New north west balcony screened.
- Adjustments to internal layouts to each dwelling, location of rooms, external balcony doors, windows and sizes of rooms.
- Window sizes and style altered to all elevations to suit layouts.
- All apartments now have balconies on the corners of the building. Balcony 4 = 9.32 sqm with north and west orientation. Balcony 5 = 8.2 sqm with north and east orientation. Balcony 6 = 11.2 sqm with west and south orientation.
- West boundary set back set back increased and ranges from 800 mm south end and 1122mm at north end.
- Extra detail to 6 Garden Avenue windows.
- Juliet balconies and feature brick piers removed.
- Stair configuration adjusted and external curved façade moved 600 mm to south for symmetry in west wall.

#### **Drawing 1289 – TP3'VC' Third & Roof plans (New Drawing)**

Original 1289 –TP2 'D' contained all floor plans, new drawing 1289 –TP3'VC' with third floor and roof plan with surrounding site details indicating parapet and roof heights.

One apartment deleted.

#### Third Floor Apartment 7-8 new layout (RL 36.35)

- Floor level lower by 70 mm.
- One apartment deleted to allow 3000 mm north set back.
- North building setbacks increase to 3000 mm from 800 mm west end and 1500 mm to east end and 2500 mm in middle.
- North balconies built on boundary and 2500 mm deep, relocated to east and west corners, setback increased to 1000mm off north boundary.
- Adjustments to internal layouts to each dwelling, location of rooms, external balcony doors, windows and sizes of rooms.
- Window sizes and style altered to all elevations to suit layouts.
- Both apartments now have balconies on the corners of the building. Balcony 7 = 10.0 sqm with north and west orientation. Balcony 8 = 10.4 sqm with north and east orientation.
- West boundary set back increased and ranges from 800 mm south end and 1122mm at north end.
- Juliet balconies and feature brick piers removed.
- Extra detail to 6 Garden Avenue windows.
- Stair configuration adjusted and external curved façade moved 600 mm to south for symmetry in west wall.

#### Roof top garden new level RL 39.20

- Floor level lower by 120 mm.
- North roof set back increased to 3000 mm previously 400 to 1200 mm from boundary.
- North planter box set back increased to 4000 mm previously 2700 mm from boundary.
- No roof over the east & south corner due to balconies to third floor below.



- West set back increased to 800 mm and increasing to 1122 mm north/west end.
- East planter box deleted and handrail set back increased to 5700 mm from east boundary.
- Roof top artificial turf, tables & chairs and trees deleted.
- Stair external curved Façade moved 600 mm to south for symmetry.
- Stair shaft terminates at planter box level (1000 mm high).
- New retractable roof cover for access to roof top recreation area.
- Private/recreation open space reduced to 56 sqm.
- Extra detail to all adjoining properties (including parapet and roof heights) noted, air conditioning compressors (12) shown on roof of 21-27 George Street
- Air conditioning condensers (8) added and placed against planter boxes.
- Solar hot water panels at 35 degree pitch added along south balustrade.

## **Drawing 1289 – TP4'VC' Elevations (New drawing)**

### **General**

- Details of materials and finishes amended.
- Deleted feature brick piers.
- All protruding brick bands changed to flush feature bricks.
- All Juliet balconies deleted.
- Trees to roof top planter deleted.
- Sections indicators A, B & C deleted.
- Window styles, sizes and locations changed to suit the new internal layouts.

### **West Elevation**

- Curved stair well Façade moved 600 mm to south for symmetry, stair continuous vertical windows changed to panels with spandrel walls between. Stepped pediment changed to horizontal.
- West wall setbacks indicated and reduction in wall length to 3600 mm either side of stair shaft due to balconies on north and south corners.
- North end setbacks increased from 800 –1000 to 1<sup>st</sup> & 2<sup>nd</sup> floors and 3000 mm to 3<sup>rd</sup> floor.
- North end balconies relocated as per floor plans.
- Balconies added to south end at 1<sup>st</sup>, 2<sup>nd</sup> & 3<sup>rd</sup> floors.
- Building height reduced by between 40mm and 120mm.
- Floor to ceiling heights reduced to suit new building height.

### **North Elevation**

- Feature render band framing 1<sup>st</sup> & 2<sup>nd</sup> floor bedrooms windows added.
- Continuous north balconies relocated as per floor plans.
- 3<sup>rd</sup> floor balcony on east end added.
- Ground level east end curved wall on boundary removed.
- Screening of west corner balconies included.
- Building height added 12390 mm to east corner and 11840 mm on west corner above natural ground to reflect the new building height.

### **South Elevation**

- Window style, sizes and locations changed to suit internal layout.
- West and east corners balconies added.
- Curved east end ground floor changed to square corner.
- Driveway levels raised 170 mm to 27.28 garage floor level. Ground levels at east & west adjusted.
- Building height west end deleted and outline of 6 Garden Avenue indicated with parapet height indicated at 1560 lower than 18 Brahe Place roof height.
- West end roller shutters to store rooms deleted.
- Automatic sliding wrought iron gates changed to solid gates and gate retracting inside building and not on external surface.

- Roof top planter trees removed and east end planter removed and set back increased to 5700 mm from east boundary.
- Solar hot water panels shown along roof south handrail.
- Rear entry door shown with brick feature surround.
- Roof top open space on east end reduced to suit 3<sup>rd</sup> floor below.

#### East Elevation

- Small Juliet balconies deleted.
- New corner balconies at all levels on east and west corner.
- At 1<sup>st</sup> & 2<sup>nd</sup> floor levels bedroom north walls set back 800 mm and lounges 1000 mm from north boundary.
- 3<sup>rd</sup> floor balcony in line with 3000 mm set back from north.
- Roof top stair now level with planter boxes and not seen.
- Curved east end at ground level changed to square.
- Floor level heights changed to suit new building height.
- Roof top planter trees removed.
- Solar hot water panels shown along roof south handrail.

#### **Drawing 1289 – TP5'VC' Elevations (New drawing)**

##### Site Contextual Elevation

- Brahe Place West wall in section added.
- West elevation of Brahe Place changed to match new details.
- 6 Garden Avenue in section added with heights to Brahe Place.
- Brahe Place building height reduced a further 1200 mm to RL 39.20
- Finishes & Materials Legend added and indicators to west elevation finish.
- Modification to Sight Line Diagram.

##### Recessive Building Setbacks North Elevation.

- Deleted

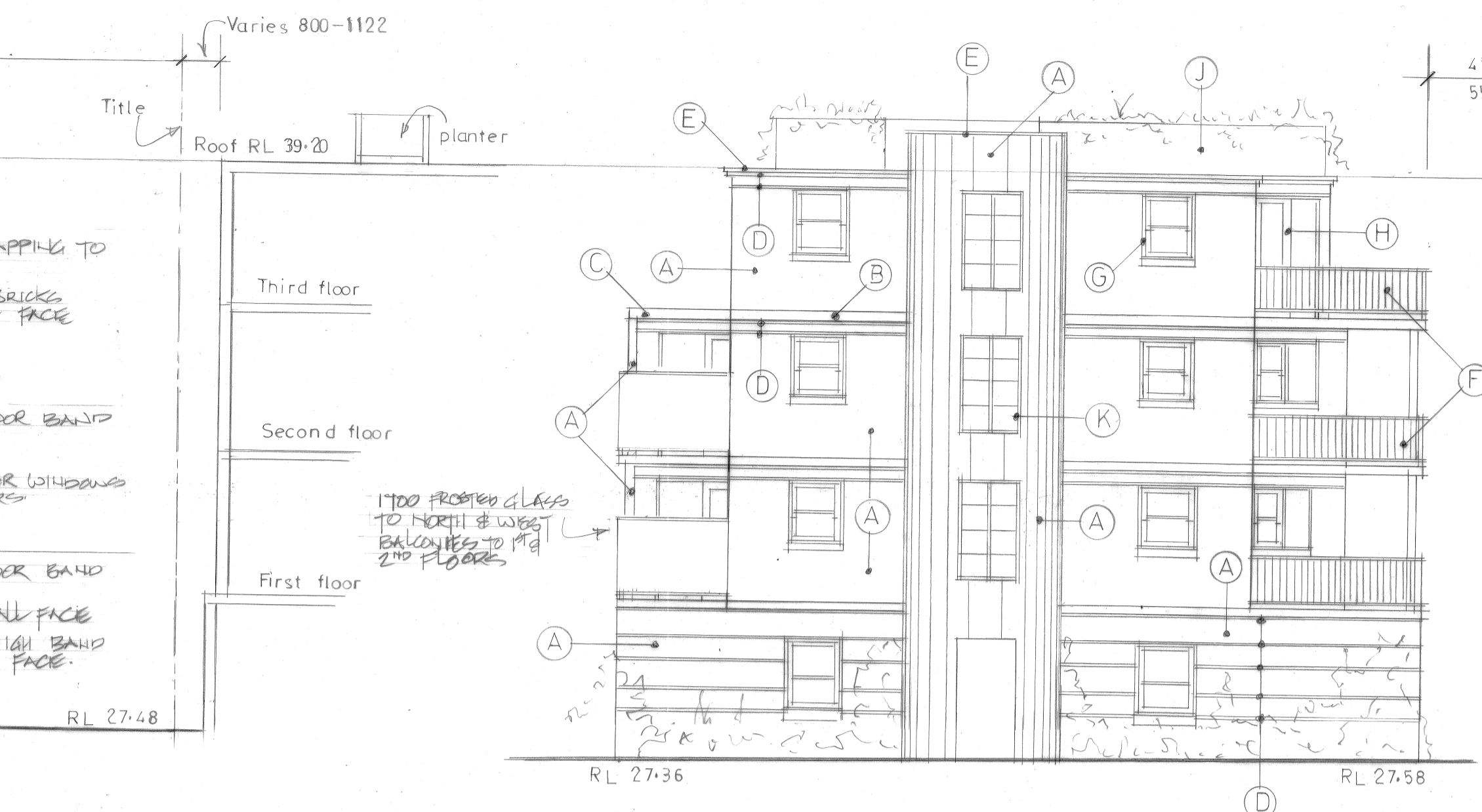
#### **Drawing 1289-TP6 'VC '**

- Previously 1289-TP5 used in September 2010 advertised plans. New number to suit this VCAT amended plan.
- Shadow diagrams adjusted to suit new building foot print and heights.
- Shadow diagram for 11.0 AM 22 September added.

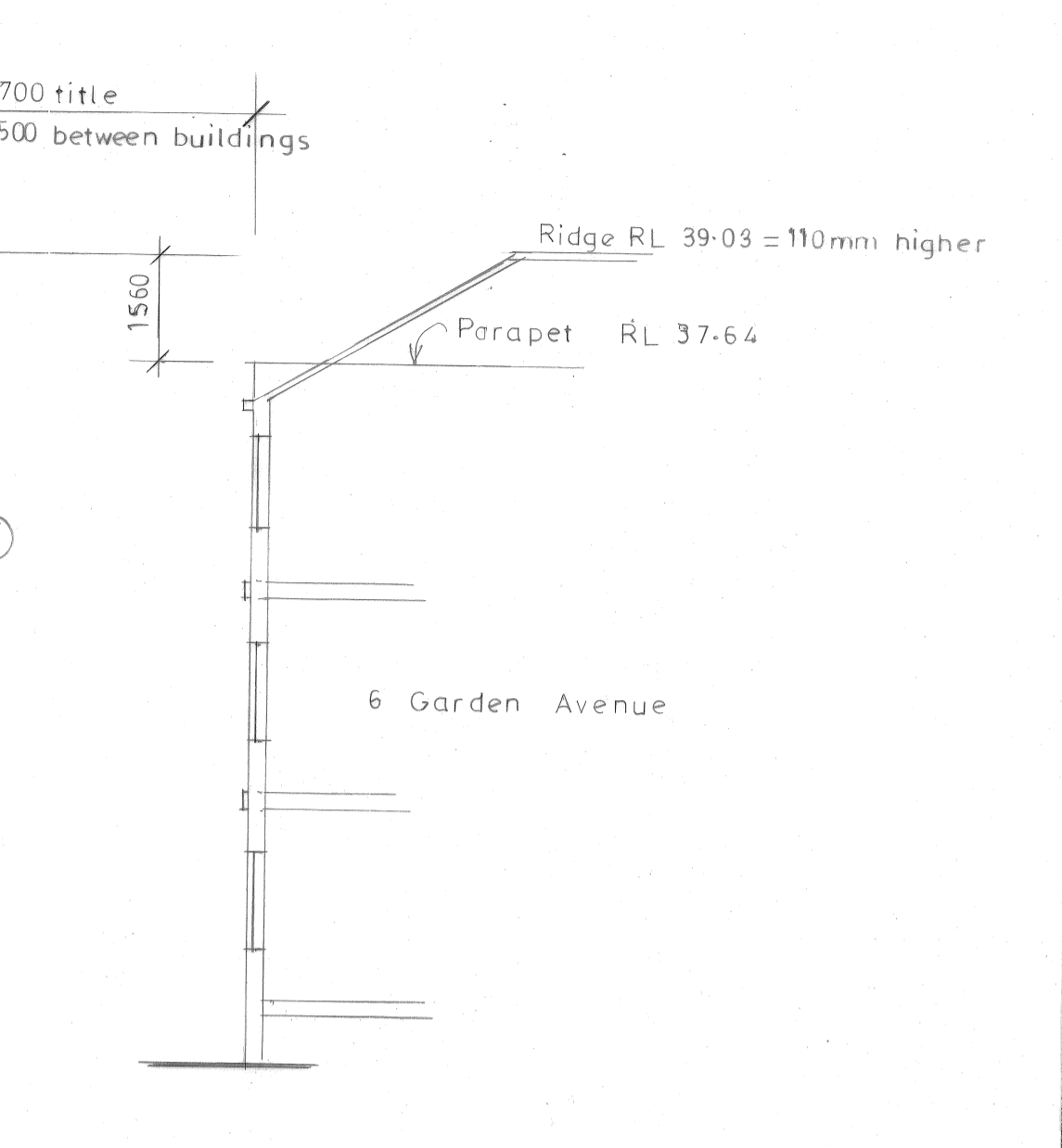




12 GARDEN AVENUE SOUTH ELEVATION  
 SITE CONTEXTUAL ELEVATIONS & DETAIL ANALYSIS SCALE 1:100

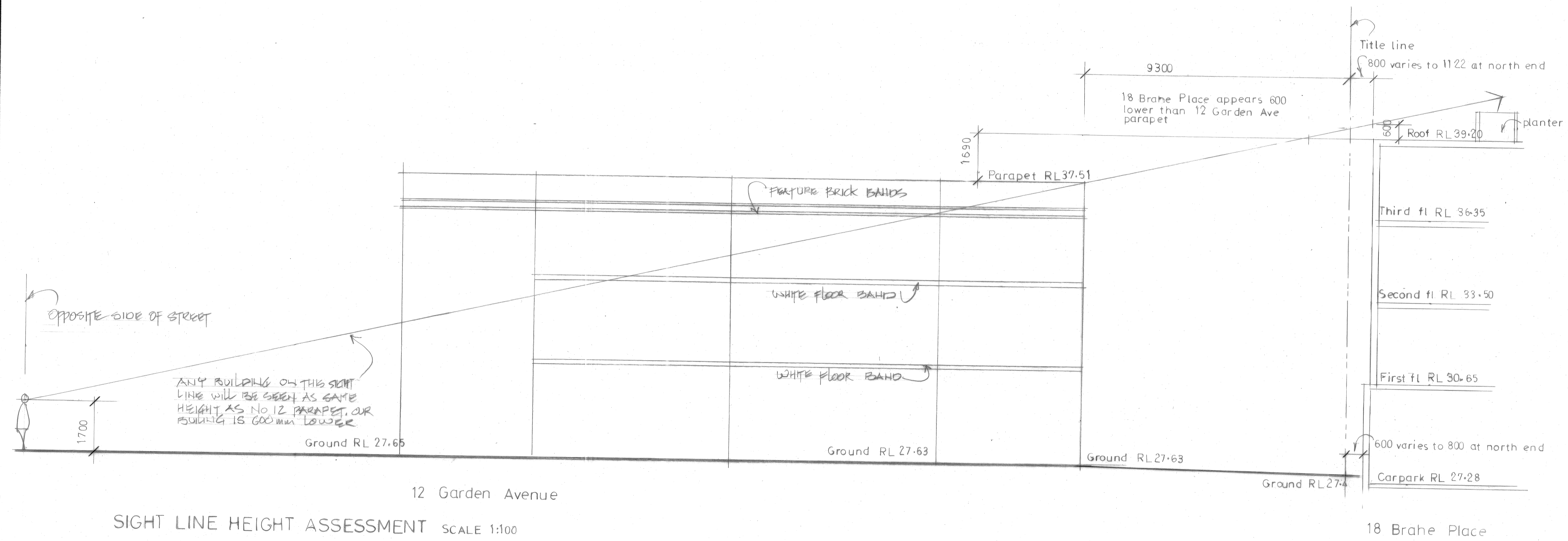


SECTION - West wall Brahe Place



SECTION - East wall 6 Garden Avenue

MATERIALS & FINISHES LEGEND	
A	Boral Escura 'Red' bricks for main body of walls.
B	Boral Nuvo 'Melot' feature brick band 2 bricks high at floor level
C	Render finished concrete to match B above
D	Boral Escura 'Choc Tan' Single brown trim brick band
E	Boral Escura 'Cinnamon' top capping single brick band
F	Black powder coated balustrade 1000 high & 120 spacing between 20 diameter balusters
G	White powder coated aluminium double hung windows all double glazed
H	White powder coated aluminium sliding doors all double glazed
I	Boral Escura 'Cinnamon' 50 mm high feature brick door surround to Brahe Place entry
J	Render finished concrete planters to match A above
K	White powder coated aluminium windows with 4 glazing bars and all double glazed to stair shaft.



Scale 1:100 at A1 & 1:200 at A3

ISSUED TO	REVISIONS	DATE	ISSUED TO	REVISIONS	DATE	ISSUED TO	REVISIONS	DATE
PLANNING	A	20-8-10						
PLANNING	B	9-12-10						
VCAT	VC	21-6-10						

North

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NOTES

- Contractors must verify all dimensions and levels before commencing any work.
- Obtain the Architect's written approval before commencing any work involving shop drawings and variations.
- Drawings must not be scaled. Large scale drawings shall take preference to small scale.

PROJECT

Proposed New Apartments  
 18 Brahe Place East Melbourne  
 For: Andrew Swanson

DRG.No  
1289-TP 5

SHEET 5 OF 6

SCALE  
1:100

DATE  
June 11

REV  
VC

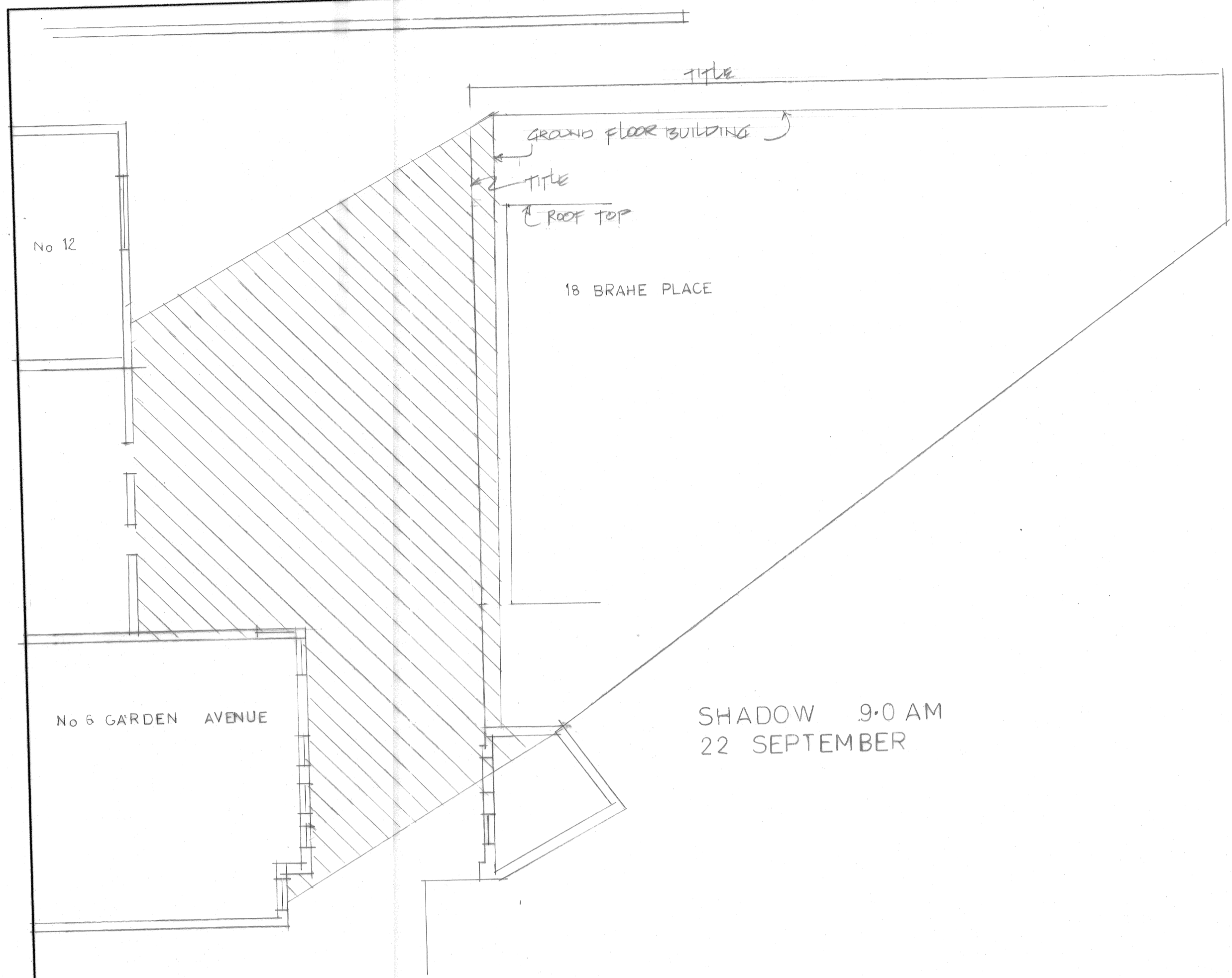
Mattingley Courtney Pty Ltd.

ARCHITECTS

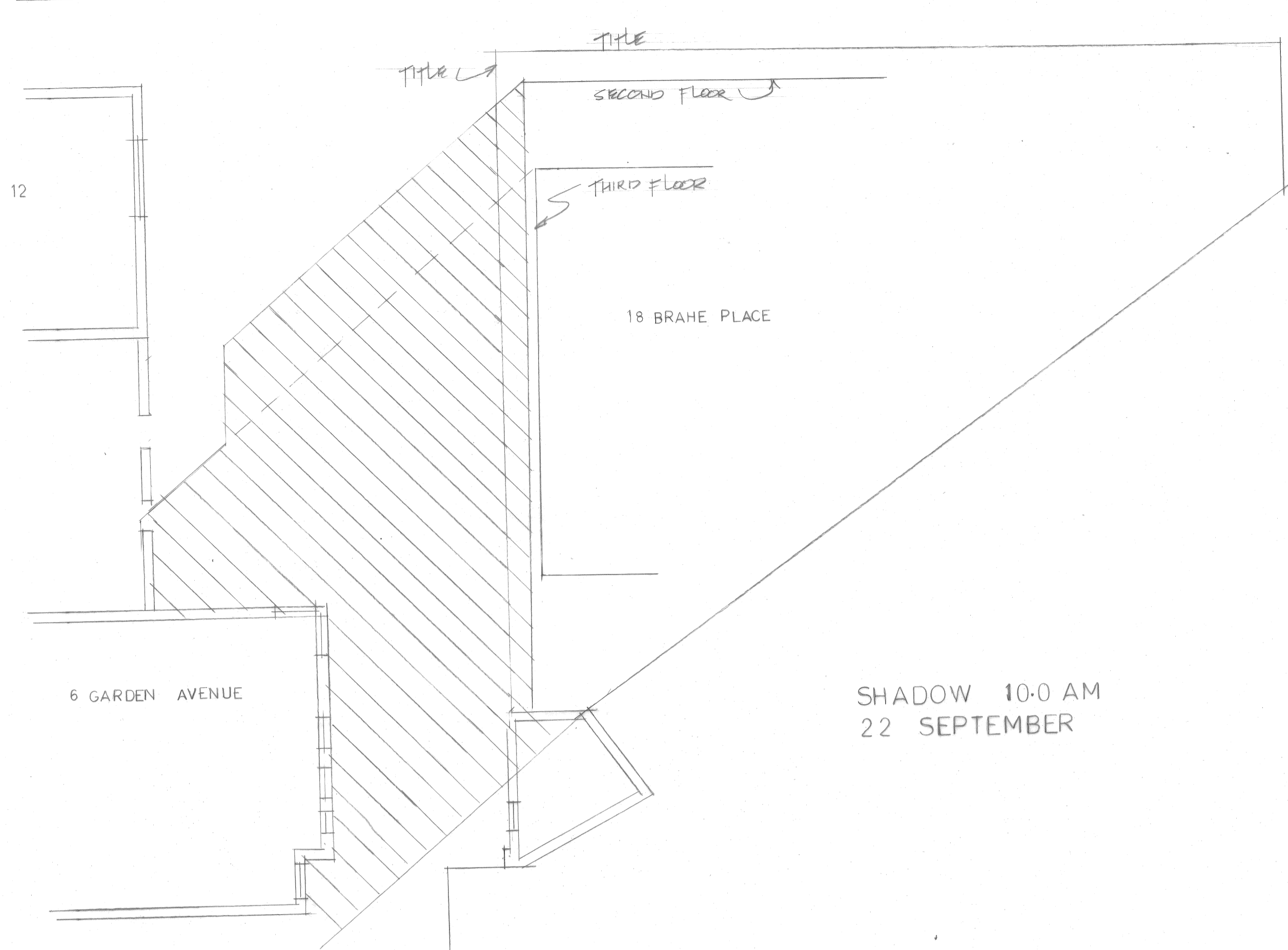
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 A.B.N. 44 576 452 728

PO Box 403, Mont Albert Victoria 3127. Telephone (03) 9899 1255 Facsimile (03) 9899 6888

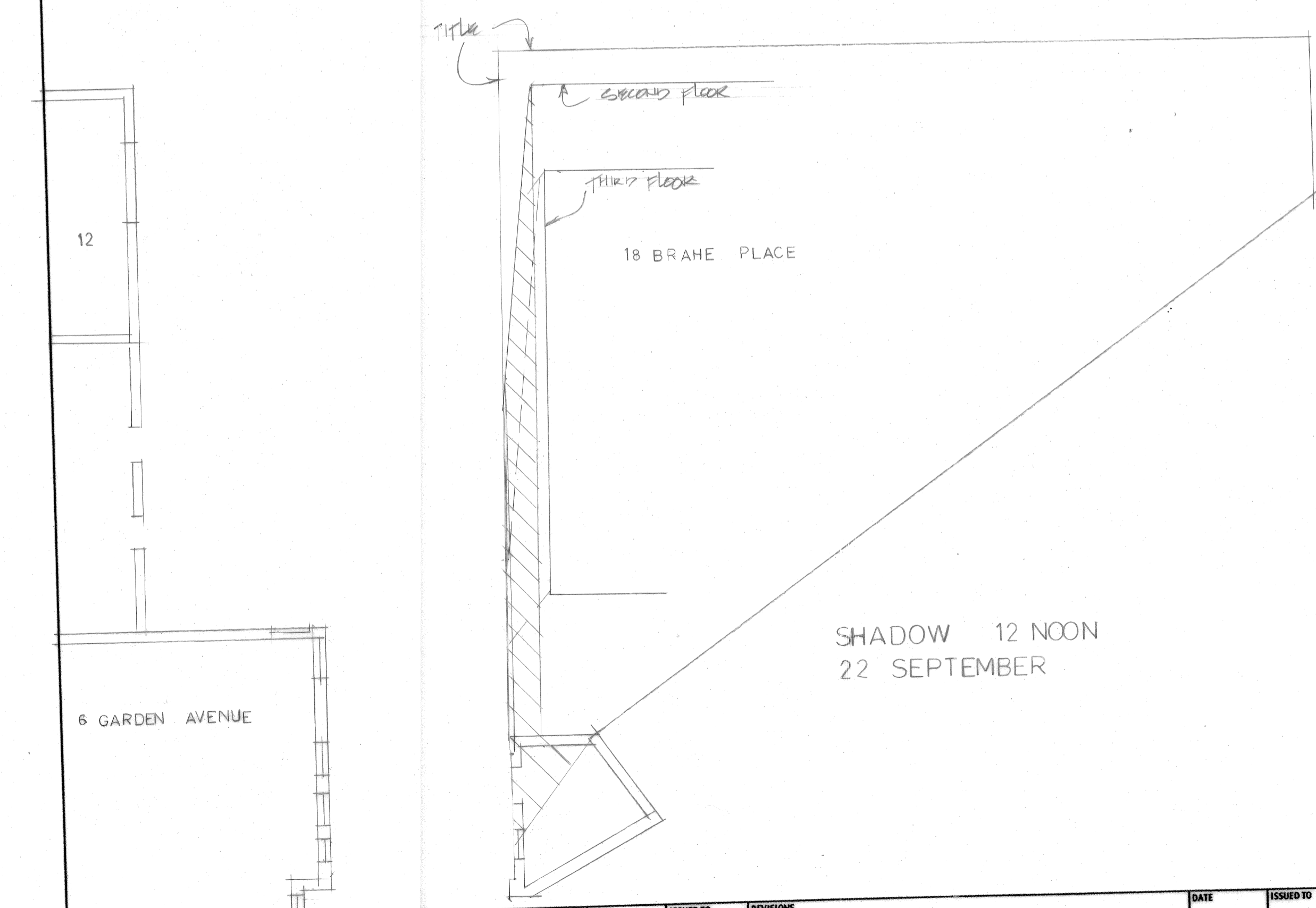




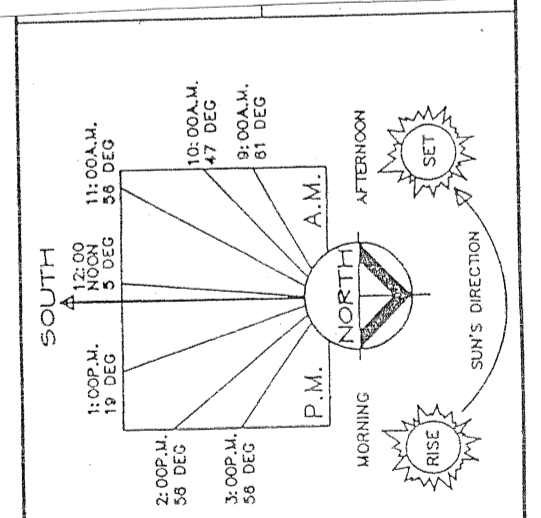
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22 SEPTEMBER



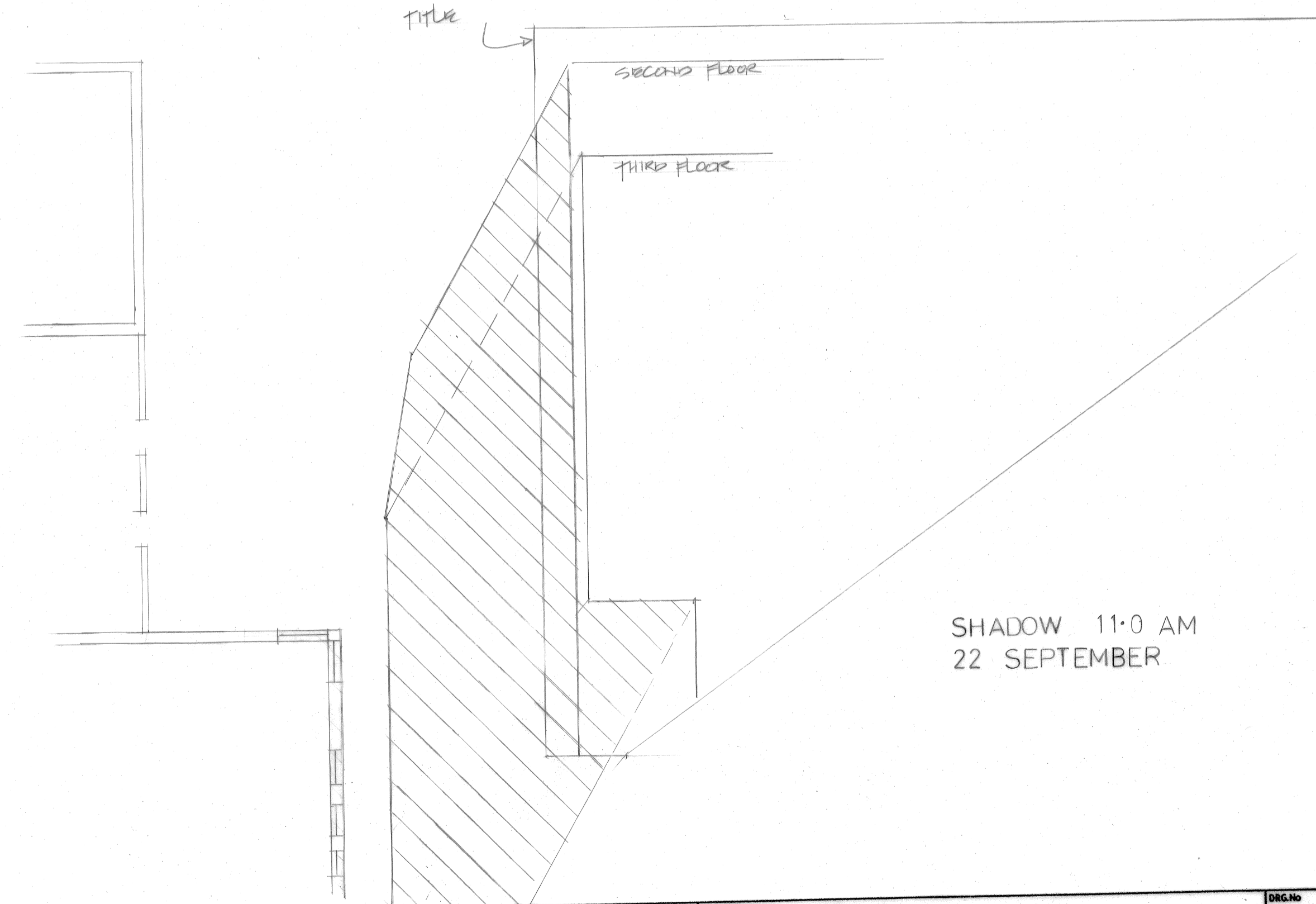
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22 SEPTEMBER



SHADOW 12:00  
22 SEPTEMBER

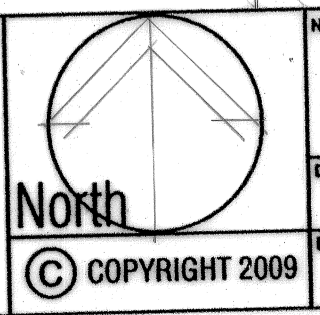


TIME	SHADOW LENGTH PER METRE HIGH	SUN ALTITUDE DEGREES	AZIMUTH DEGREES
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9:00 AM	1.60 METRES	32° DEG	61° DEG
10:00 AM	1.15 METRES	41° DEG	47° DEG
11:00 AM	0.87 METRES	49° DEG	38° DEG
12:00 NOON	0.81 METRES	52° DEG	5° DEG
1:00 PM	0.84 METRES	50° DEG	341° DEG
2:00 PM	1.00 METRES	45° DEG	320° DEG
3:00 PM	1.37 METRES	36° DEG	304° DEG
4:00 PM	2.14 METRES	25° DEG	292° DEG



SHADOW 11:0 AM  
22 SEPTEMBER

ISSUED TO	REVISIONS	DATE	ISSUED TO	REVISIONS	DATE	ISSUED TO	REVISIONS
PLANNING	B. APPROVED APPLICATION	22-8-10					
W/AT	W/AT AMENDED PLANS	2-12-11					



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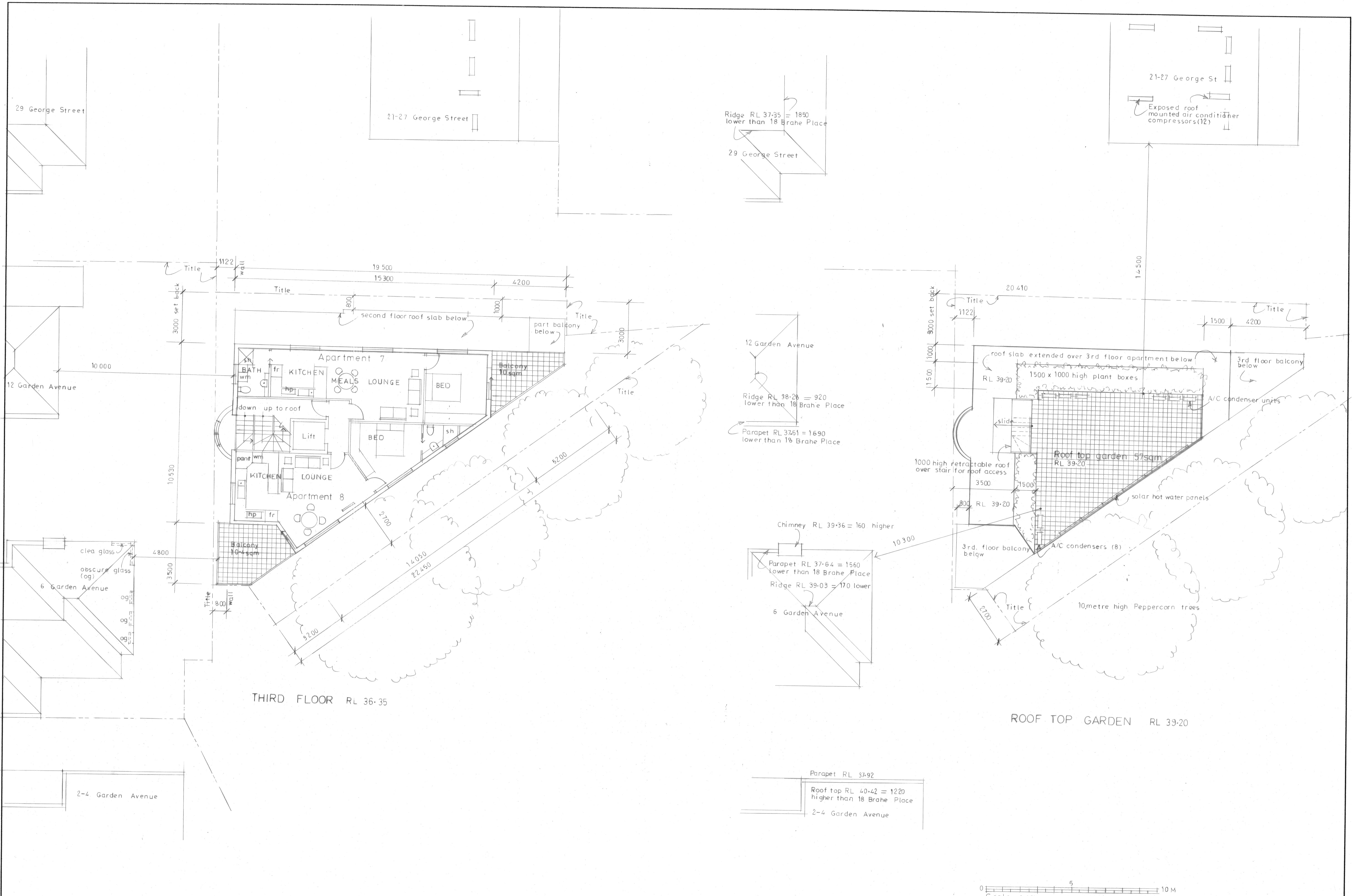
DRAWINGS: SHADOW DIAGRAMS  
DRAWN: \_\_\_\_\_ CHECKED: \_\_\_\_\_

PROJECT: Proposed New Apartments  
18 Brahe Place East Melbourne  
For: Andrew Swanson

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DWG No 1289-TP 6  
SHEET 6 OF 6  
SCALE 1:100  
DATE June '11 REV VC





Scale 1:100 at A1 size & 1:200 at A3

ISSUED TO	REVISIONS	DATE	ISSUED TO	REVISIONS	DATE	ISSUED TO	REVISIONS	DATE	ISSUED TO	REVISIONS	DATE
VCAT	VCAT AMENDED PLANS	21-02-11									

North

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DRAWINGS

DRAWN: Plans

CHECKED:

PROJECT: Proposed New Apartments  
18 Brahe Place East Melbourne  
For: Andrew Swanson

DWG No: 1289-TP3

SHEET 3 OF 6

SCALE: 1:100

DATE: June 11

REV: VC

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